



DEVELOPMENT PERMIT NO. DP001397

WINDLEY INVESTMENTS LTD., INC. NO. BC1456835
Owner of Land (Permittee)

3679 SHENTON ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied by this permit.
2. This permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 2 SECTION 3 WELLINGTON DISTRICT PLAN 13166 EXCEPT PLAN
EPP125078
PID NO. 003-157-512**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit, and any plans and specifications hereto shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Floor Plans
Schedule E Landscape Plans and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit prevails over the provisions of the bylaw in the event of conflict.
6. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.5.1 Projections into Yards* – to increase the maximum permitted projection of eaves, exterior finishes, gutters, and cornices into the west side yard setback from 0.75m to 1.2m as shown on Schedule B.
2. *Section 9.2.1 Permitted Uses* – to increase the maximum permitted gross floor area of office use from 1,000m² to 1,043m².
3. *Section 9.2.1 Permitted Uses* – to permit office use on a portion of the second floor substantially as shown in Schedule D.
4. *Section 9.5.4 Siting of Buildings* – to increase the maximum permitted percentage of the front face of the building façade that can be setback further than the maximum front yard setback from 50% to 100% as shown in Schedule B.
5. *Section 9.6.1 Location of Parking Area* – to allow two parking spaces within the maximum front yard setback area as shown in Schedule B.
6. *Section 17.1.2 Required Landscaping* – to reduce the minimum required landscape buffer width along the east side lot line from 1.5m to 1.27m as shown in Schedule E.

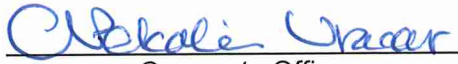
The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

1. *Section 4.4 Location of Parking* – to allow two parking spaces in front of the front line of the building as shown in Schedule B.
2. *Section 6.3 Dimensions and Design of Loading Spaces* – to reduce the minimum required length of a loading space from 10m to 5.8m as shown in Schedule B.

CONDITIONS OF PERMIT

1. The subject property shall be developed in substantial compliance with the Site Plan and Parking Plans prepared by Low Hammond Rowe Architects, dated 2026-MAY-29, and the Overall Site Plan prepared by Low Hammond Rowe Architects, dated 2026-JUN-16, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Low Hammond Rowe Architects dated 2026-JUL-15, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Kinship Design Art Ecology, dated 2026-JUN-01 and dated 2026-JUN-17, as shown on Schedule E.
4. An itemized landscape cost estimate prepared by a qualified landscape professional shall be submitted with the building permit application.
5. A landscape security deposit equal to 100% of the landscape cost estimate, to a maximum of \$100,000, shall be provided prior to building permit issuance.
6. Registration of a Section 219 *Land Title Act* covenant prior to Building Permit issuance to ensure the site is developed in accordance with the recommendations contained in a geotechnical study accepted by the City.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 27TH DAY OF JULY, 2026.


Corporate Officer

August 7, 2026
Date

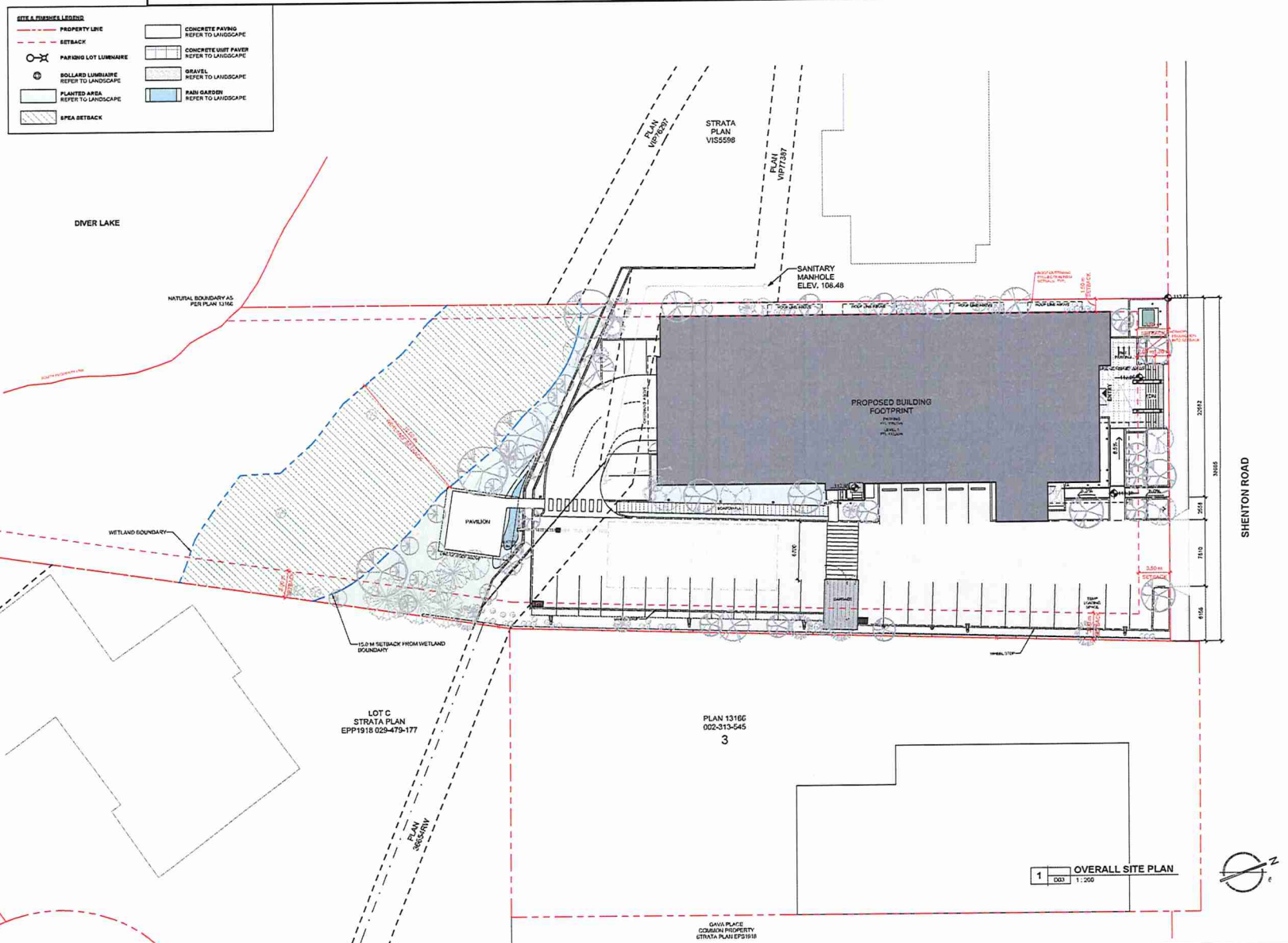
Nikolina Vracar
Deputy Corporate Officer
City of Nanaimo

Schedule A



3679 SHENTON ROAD

SITE AND PARKING PLANS



LOW
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RCWE
ARCHITECTS
300 - 1510 CEDAR HILL
250 472 8013 LHRA.C



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3679 SHENTON ROAD, NANAIMO, BC

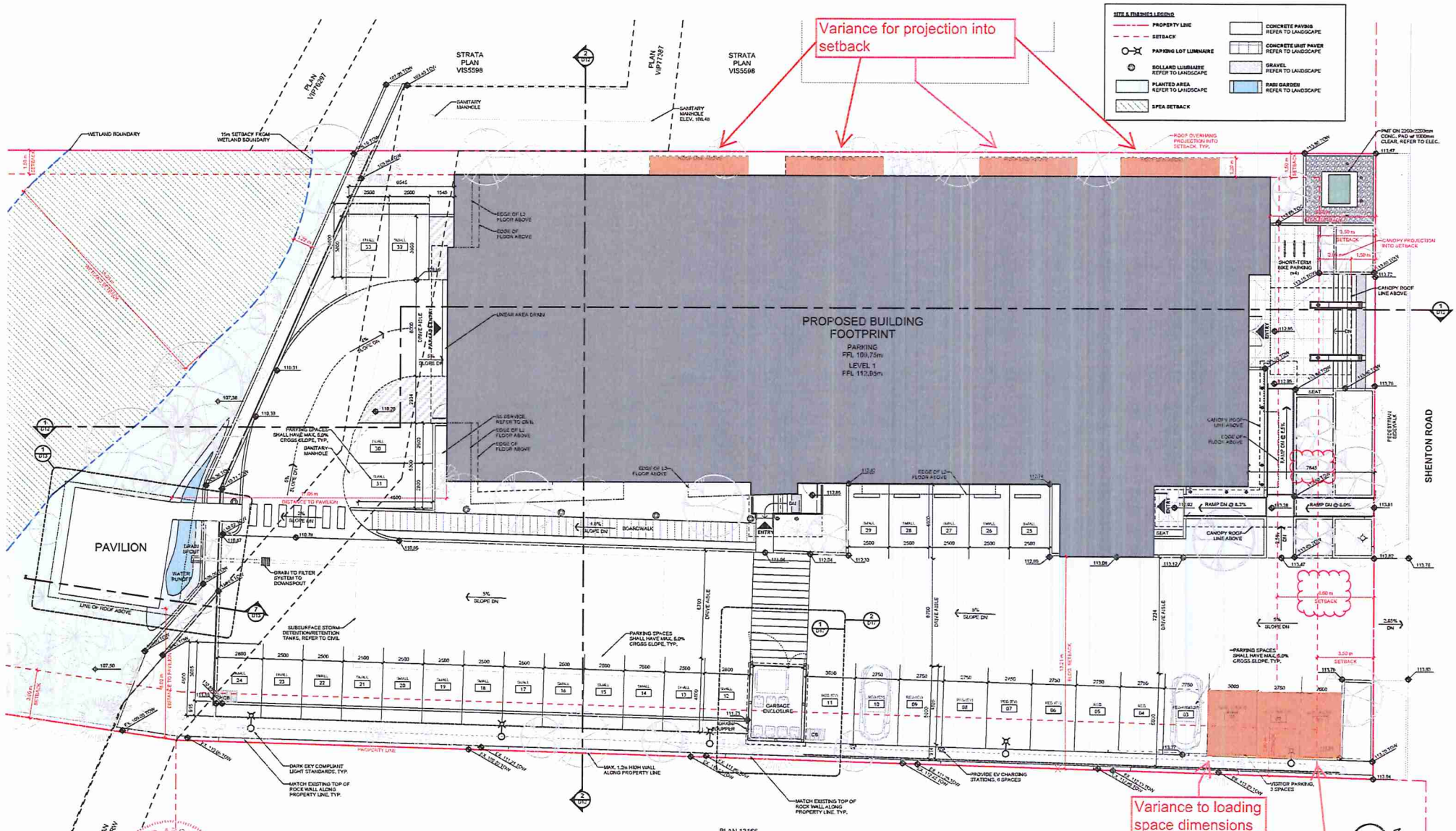
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#	Date	Issued For
01	2025-03-07	DEVELOPMENT PERMIT
02	2025-05-29	DEVELOPMENT PERMIT RESUBMISSION
03	2025-06-18	DEVELOPMENT PERMIT RESUBMISSION

OVERALL SITE PLAN | D03

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DP1397
2026-JUN-16
Current Planning

project number
24.11



LOW HAMMUND
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ARCHITECTS
202-1160 CEDAR HILL CROSS ROAD VICTORIA BC V8P 2P1
250 472 8013 LHR/CA

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Date
01 2024-04-01
02 2024-04-01
03 2024-04-01

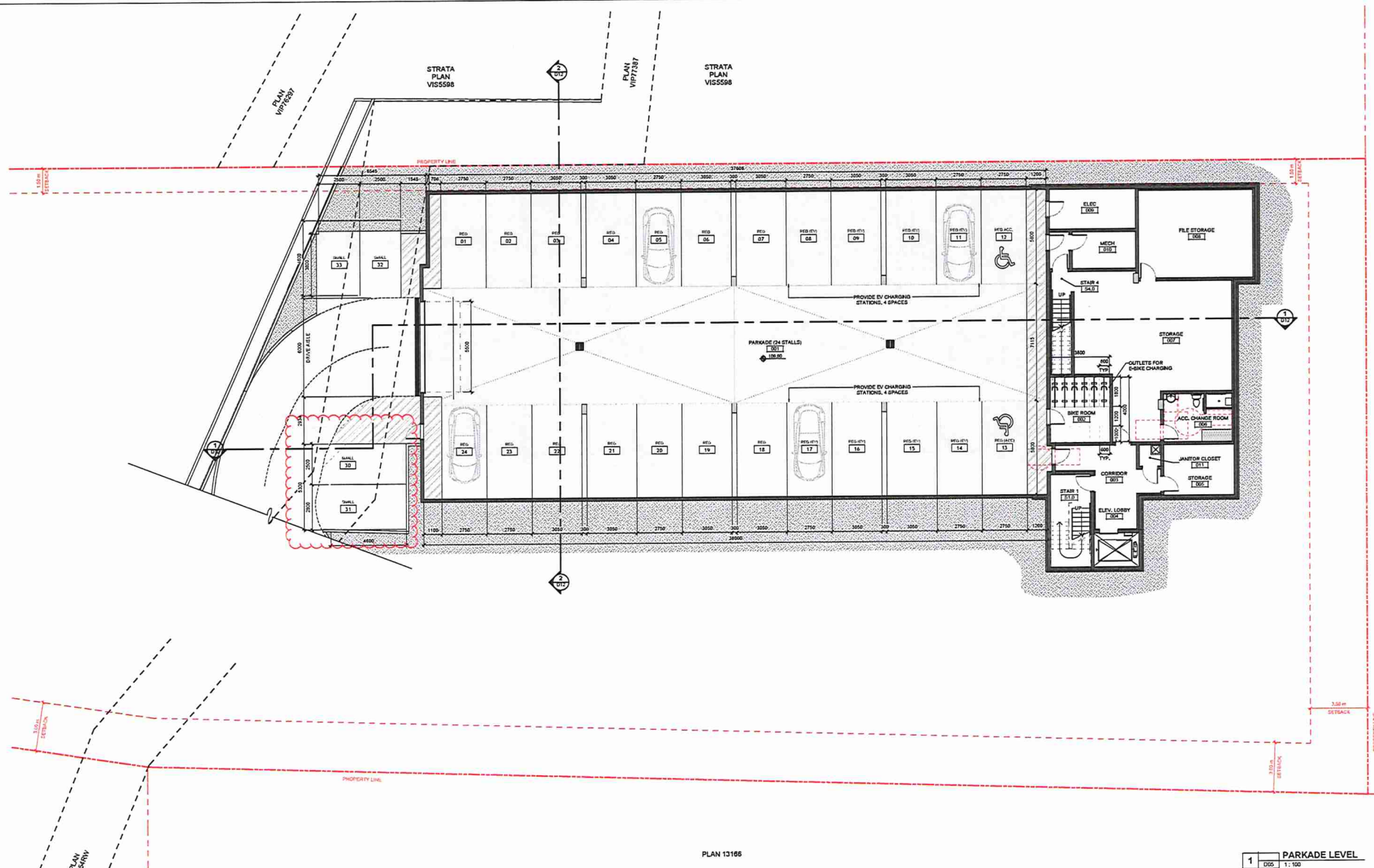
Noted For
DEVELOPMENT PERMIT
DEVELOPMENT PERMIT REVISION
DEVELOPMENT PERMIT REVISION

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DP1397
2026-JUN-16
Current Planning

Variance for parking within maximum front yard setback

SITE PLAN D04

project number
24.11



PLAN 13166

1		PARKADE LEVEL
	D05	



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ARCHITECTS

300 - 1580 CEDAR HILL CROSS ROAD VICTORIA BC V8P 2P5
250-472-8013 LHRA.CA



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#	Date	Issued For
01	2025-08-07	DEVELOPMENT PERMIT
02	2026-05-29	DEVELOPMENT PERMIT RESUBMISSION

PARKADE PLAN | D05

project number
24.11

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DP1397
2026-JUN-01
Current Planning

BUILDING ELEVATIONS AND DETAILS



Facing Shenton Road

2 NORTH ELEVATION
D10 1:100



1 EAST ELEVATION
D10 1:100



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ARCHITECTS

330-1590 CEDAR HILL CROSS ROAD VICTORIA BC V8P 2P5
250-472-8813 URBALCA



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Date Issued For
01 2024-04-07 DEVELOPMENT PERMIT
02 2024-04-28 DEVELOPMENT PERMIT REVISION
03 2024-07-15 DEVELOPMENT PERMIT REVISION

ELEVATIONS

D10 RECEIVED
DP1397
2026-JUL-15
project number
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Facing Diver Lake

2 SOUTH ELEVATION
D11 1:100

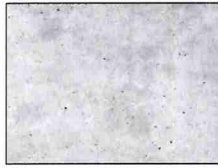


Viewing Pavilion

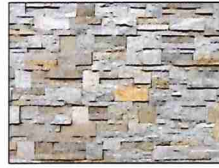
1 WEST ELEVATION
D11 1:100



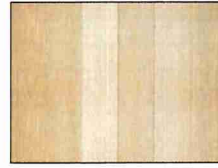
1 STAMPED CONCRETE, PAVILION WALKWAY



2 ARCHITECTURAL CONCRETE



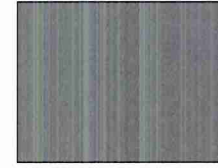
3 STONE CLADDING



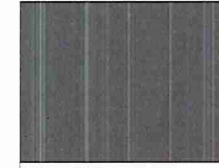
4 WOOD-LIKE SIDING, COLUMNS, BEAMS, PURLINS, SOFFIT, ENTRY CANOPIES, MONO-PITCH



5 STEEL COLUMN CASING



6 PANELIZED CLADDING, STEEL MULLIONS, RAILINGS, ARCHITECTURAL METAL



7 STANDING SEAM ROOFING, SOFFIT (OFFICE LEVEL)



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305 - 1580 CEDAR HILL CROSS ROAD VICTORIA BC V8P 2P5
250.472.9013 URL: LRA



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#	Date	Issued For
01	2025-06-07	DEVELOPMENT PERMIT
02	2025-06-20	DEVELOPMENT PERMIT RESUBMISSION

MATERIAL BOARD

D15

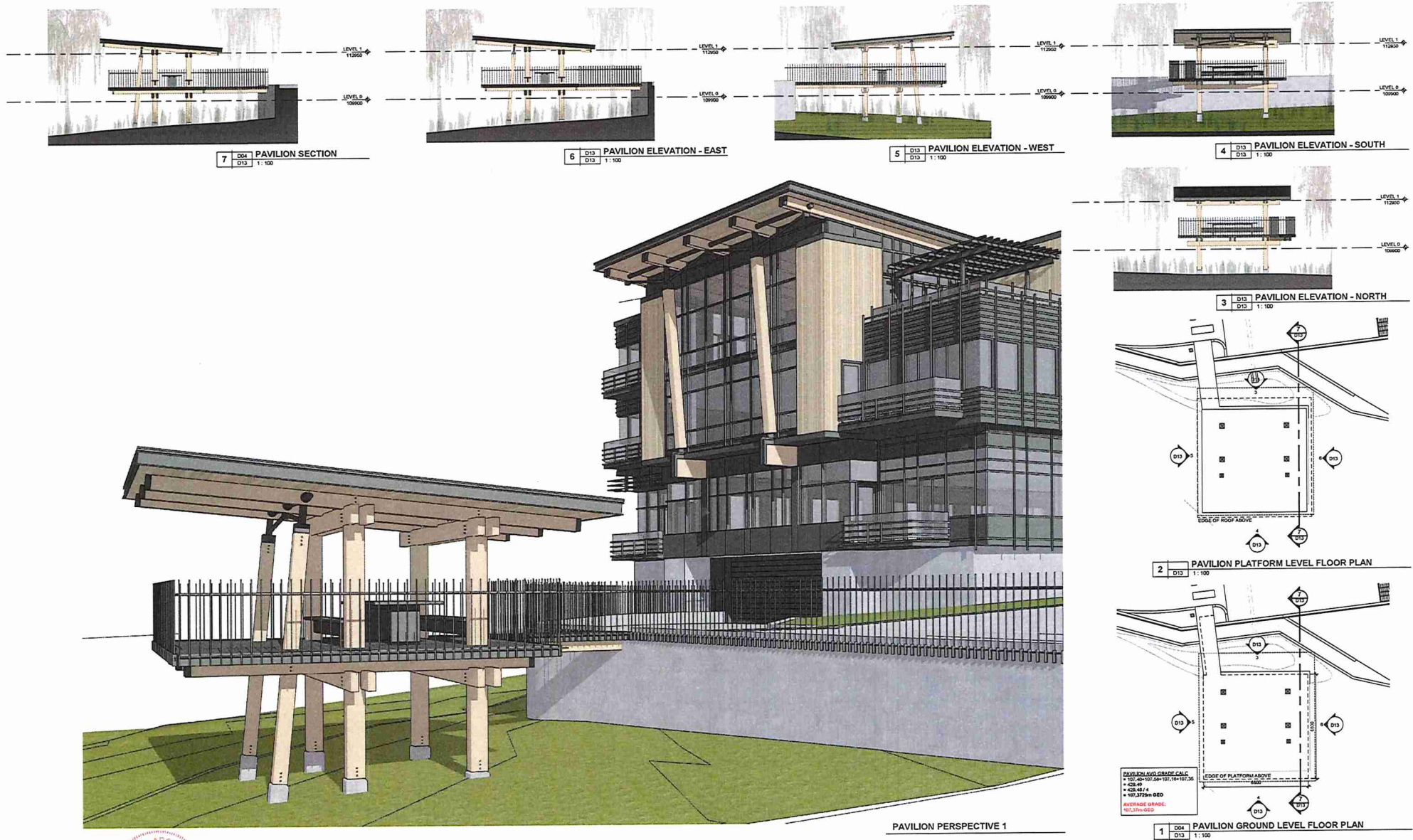
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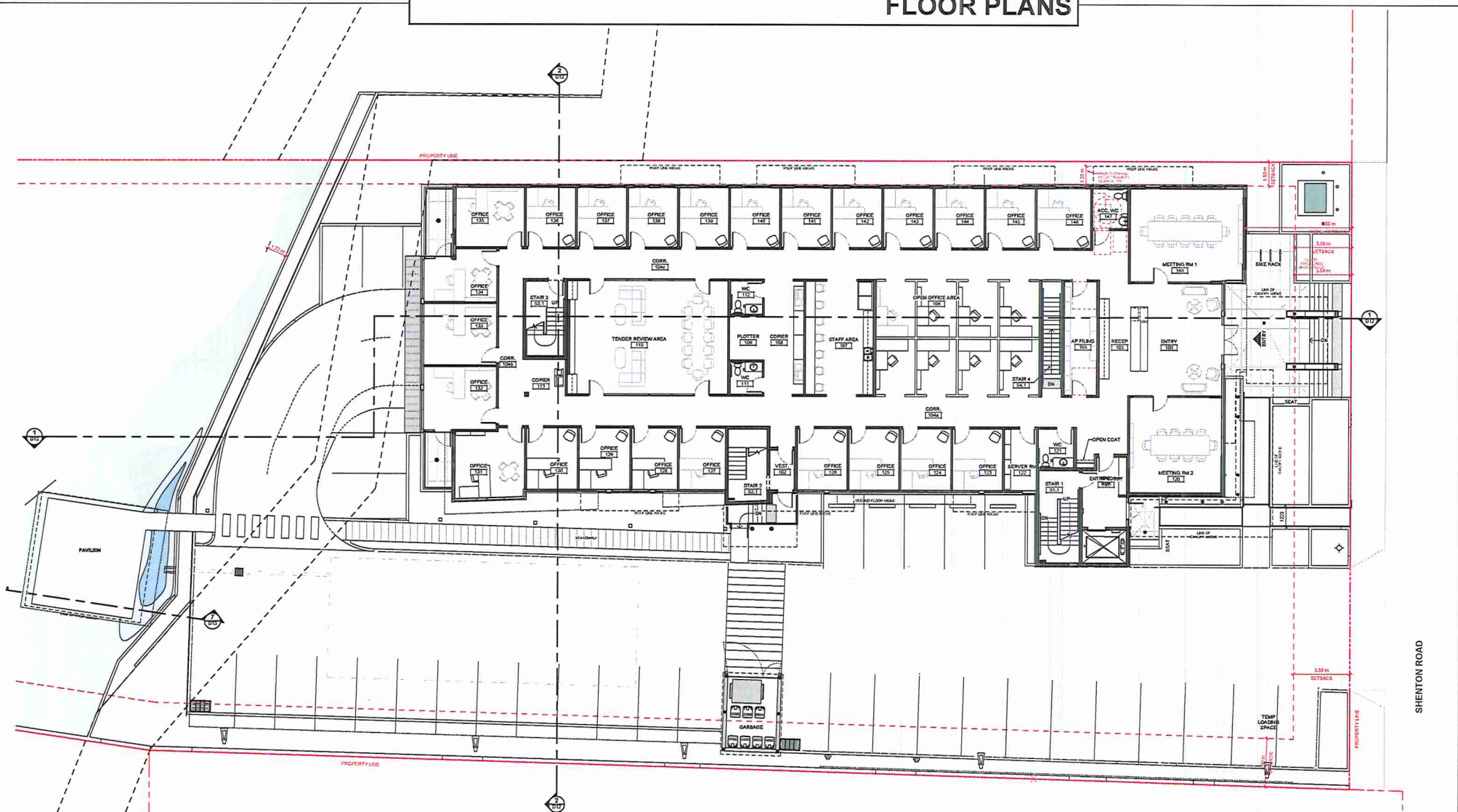
DP1397

2026-JUN-01

Current Planning

project number
24.11





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205-1650 CEDAR HILL CROSS ROAD VICTORIA, BC V8P 2P5
250-472-0112 URBANA



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Date Issued For
01 2025-06-07 DEVELOPMENT PERMIT
02 2025-06-09 DEVELOPMENT PERMIT RESUBMISSION

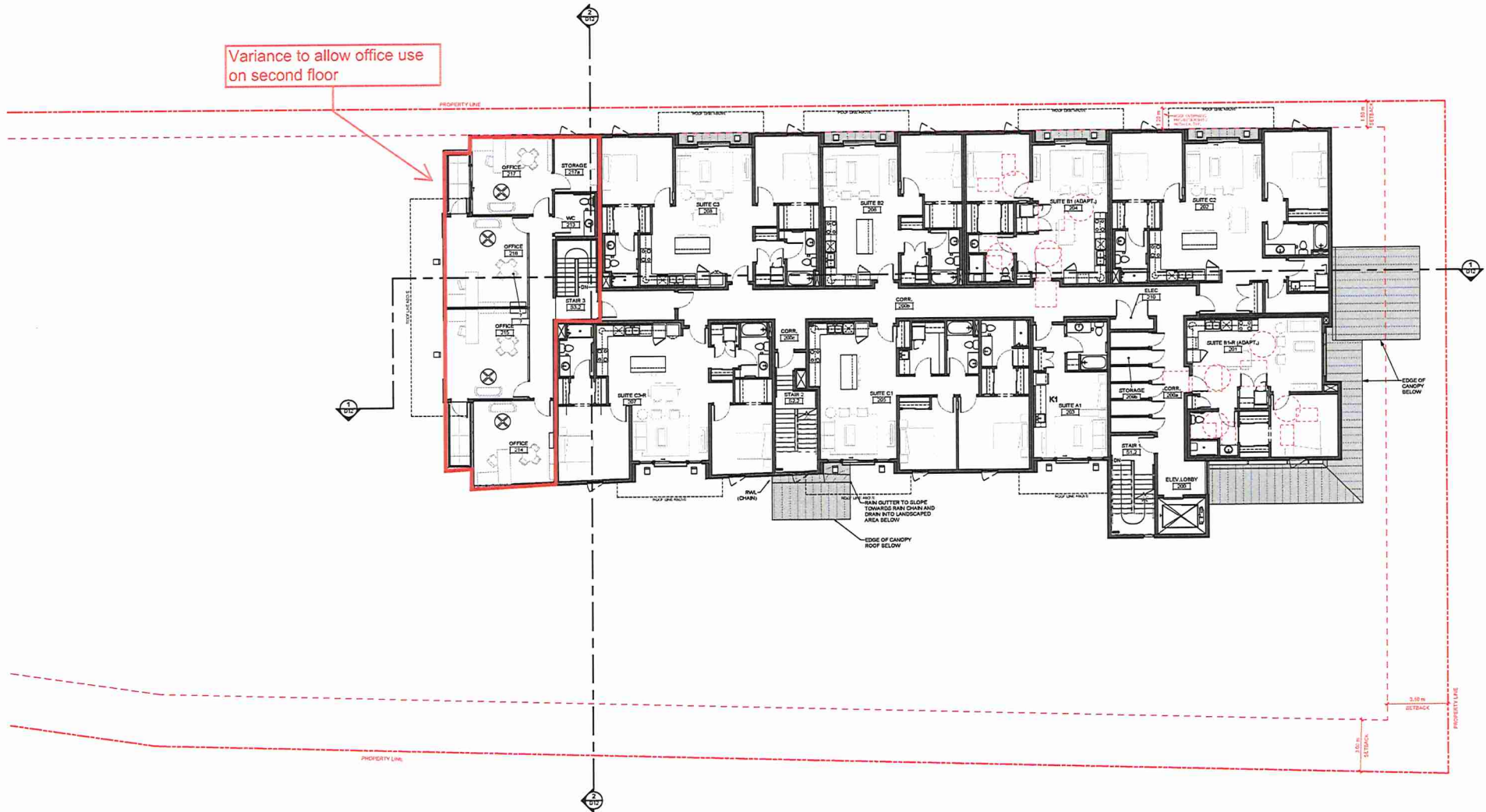
LEVEL 1 FLOOR PLAN D06

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DP1397
2026-JUN-01
Current Planning

project number
24.11

Variance to allow office use on second floor



1 LEVEL 2
D07 1:100



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390 - 1505 CEDAR HILL CROSS ROAD, VICTORIA, BC V8P 2P5
250 472 8073 VIKI@LHR.AARCHITECTS.COM



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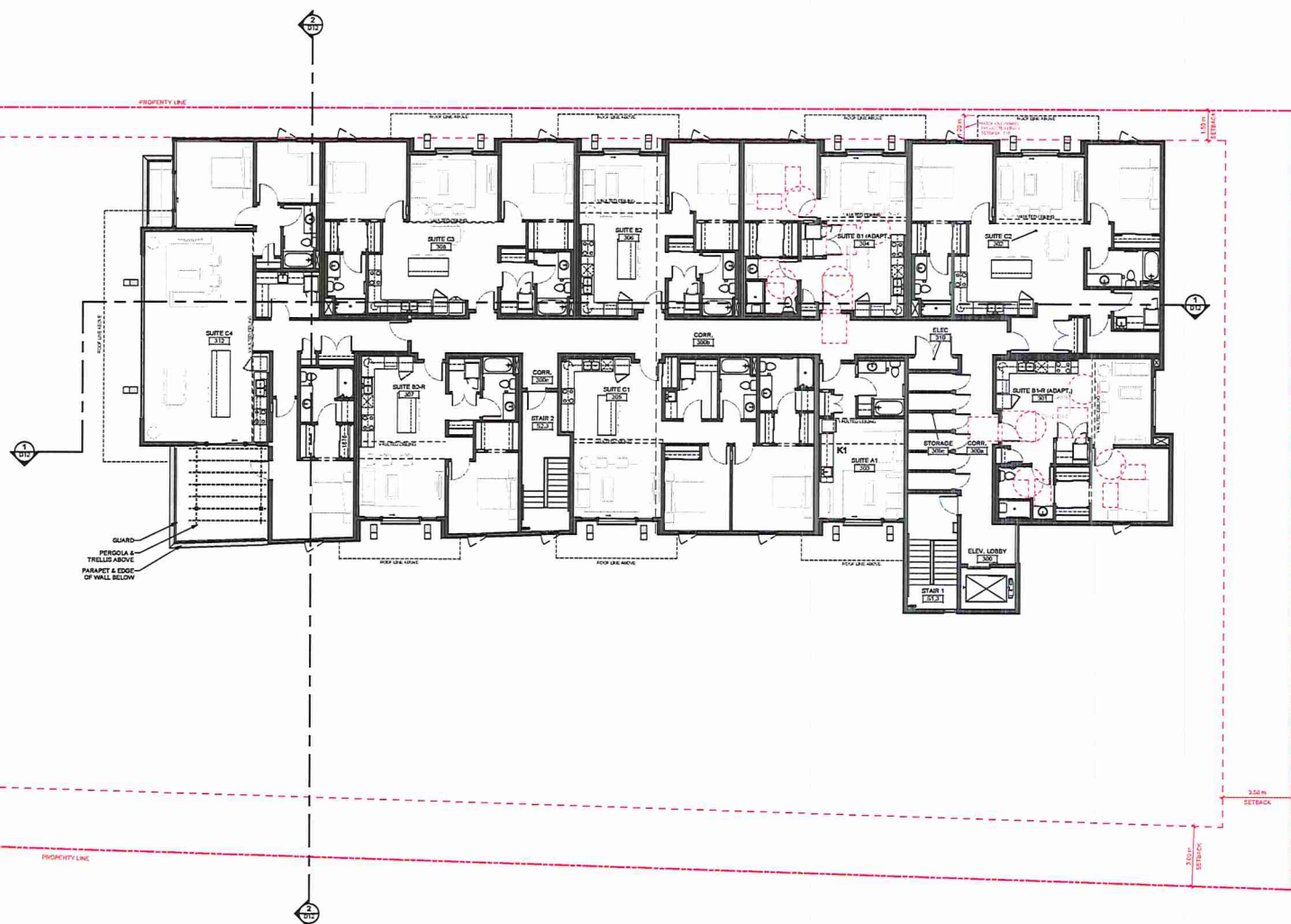
Date Issued For
D1 2025-06-07 DEVELOPMENT PERMIT
D2 2024-06-29 DEVELOPMENT PERMIT RESUBMISSION

LEVEL 2 FLOOR PLAN

D07

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DP1397
2026-JUN-01
Current Planning

project number
24.11



1 LEVEL 3
008 1:100



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250-472-1013 URBACA



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Date Issued For
01 2025-06-07 DEVELOPMENT PERMIT
02 2026-06-20 DEVELOPMENT PERMIT RESUBMISSION

LEVEL 3 FLOOR PLAN D08

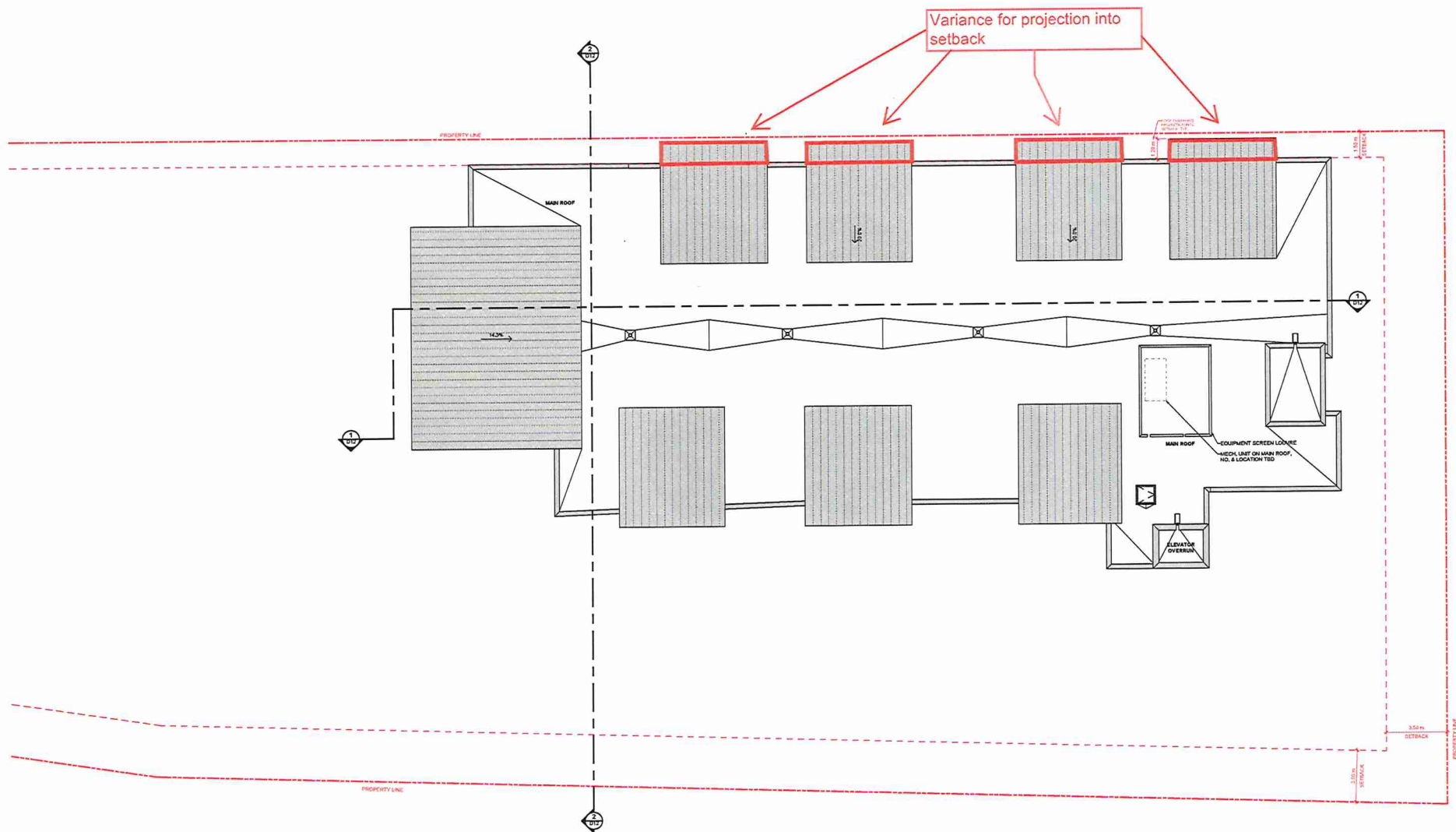
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2026-JUN-01

Current Planning

project number
24.11



1 LEVEL 4 - ROOF
D09 1:100



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350 - 1540 CEDAR HILL CROSS ROAD VICTORIA BC V8P 3P5
250-475-8103 VANUAGA

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02 2026-06-09 DEVELOPMENT PERMIT RESUBMISSION

ROOF PLAN D09

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DP1397
2026-JUN-01
Current Planning

project number
24.11

LANDSCAPE PLANS AND DETAILS

3679 SHENTON ROAD DEVELOPMENT

3679 Shenton Road, Nanaimo, BC

LANDSCAPE ARCHITECTURAL DRAWINGS

REISSUED FOR DP - JUNE 01, 2026

LANDSCAPE DRAWING SCHEDULE

- L0.00 Cover Page
- L1.01 Landscape Plan
- L1.02 Landscape Elevation
- L2.01 Planting Plan Northeast
- L2.02 Planting Plan Southwest
- L2.03 Planting Notes & Plant List
- L3.01 Landscape Details
 - 1. Bollard Light
 - 2. Bike Rack
 - 3. Perimeter Fence
 - 4. Post & Rail Fence
- L3.02 Landscape Details
 - 5. Tree Protection Fence

DESIGN PRECEDENTS



Perennial Groundcovers: native perennial ground covers (Blue Lily of the Valley, Vanilla Leaf, Purple Cup) fill in the spaces around the larger ground covers, shrubs and trees, grounding the design in the local ecosystem.



Ferns: native ground covers, including a variety of ferns, form the base of the planting plan and ground the landscape design in the local ecosystem.



Flowering Perennials: indigenous flowering perennials are included to provide seasonal colour, interest, and support for local pollinators.



Flowering Indigenous Shrubs: flowering indigenous deciduous & evergreen shrubs form the midlayer of the tree understory in the planting plan and support local pollinators from spring through to late summer.



Medium Deciduous Trees: Japanese maple are included to provide a beautiful leaf texture, dappled light, and a bright seasonal fall colour.



Medium Flowering Deciduous Trees: Japanese snowball and dracopis white flowers hanging down under the branches.



Concrete unit pavers to mimic a sidewalk, the first paver proposed for the walkway down to the southern viewing pavilion building, a rustic wood texture.



Bollard Lighting: the walkway down to the southern viewing pavilion is lit with bollards running down one side of the path.



Bird Houses: proposed in the lower area next to the viewing pavilion and the westward entrance to provide and support local birds and add additional interest to the area.



Wall sculpture: water discharges from stormwater detention chamber under parking through sculpture in retaining wall to vegetation below.

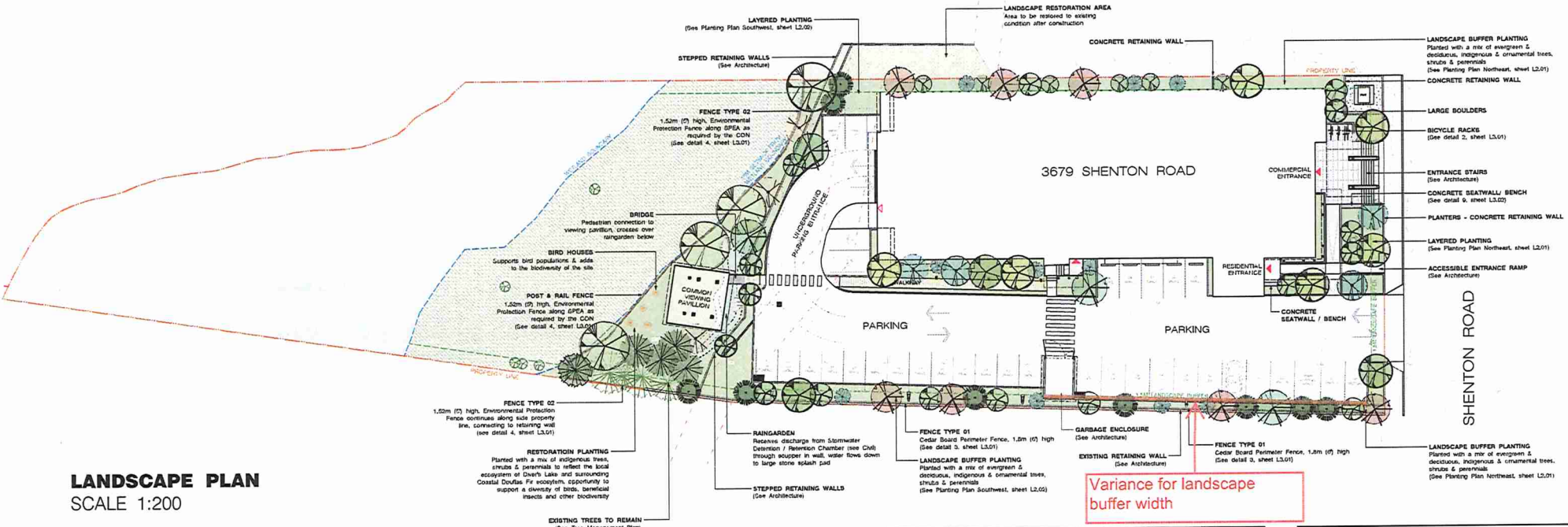


Concrete seawall: seawalls are integrated into the concrete planters at the entrance ramp and stairs to the building.



Bollards: intentionally placed bollards act as barriers at entrance for design interest.

NOT FOR CONSTRUCTION

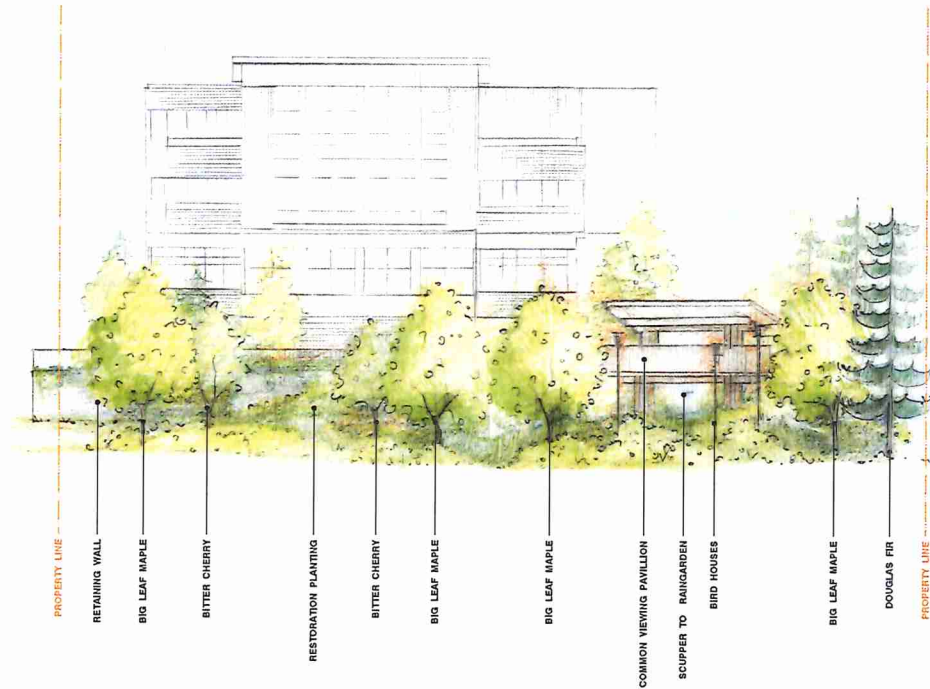


LANDSCAPE PLAN
SCALE 1:200

LANDSCAPE LEGEND			
	BICYCLE RACK Total Capacity: 6 bikes Quantity: 3 (See detail 2, sheet L3.01)		CONCRETE PAVING Area: 30m ²
	BIRD BOX / PERCH Quantity: 4		CONCRETE UNIT PAVER TYPE 01 Area: 41m ² Type: Bestman Broadway 100mm Size: 800mm x 450mm x 100mm Colour: Ash
	ENTRANCE / EXIT - MAIN ENTRANCE / EXIT - SECONDARY		CONCRETE UNIT PAVER TYPE 02 Area: 35m ² Type: Bestman Bridgwood 100mm Size: 800mm x 250mm x 100mm Colour: Weathered Grey
	FENCE TYPE 01 Cedar Board Perimeter Height: 1.8m (ft) Length: 75m (See detail 3, sheet L3.01)		GRAVEL SURFACING Area: 13m ²
	FENCE TYPE 02 Post & Rail (Environmental Protection) Height: 1.50m (ft) Length: 60m (See detail 4, sheet L3.01)		PLANTED AREA Area: 710m ² (See Planting Plan Northwest & Southwest, sheet L3.01 & L3.02)
	LANDSCAPE BOULDER Large landscape feature boulders Quantity: 6		RAIN GARDEN Area: 35m ²
	LIGHTING - BOLLARD Quantity: 6 Product: Solera SOLBOLL (See detail 1, sheet L3.01)		

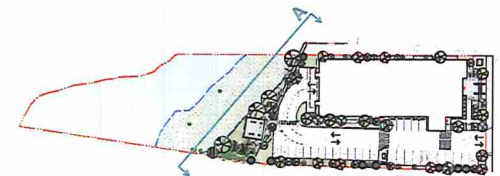
- LANDSCAPE NOTES**
- It is the Contractor's responsibility to contact the Landscape Architect if the information in this drawing package requires further clarification.
 - All landscape construction to be in accordance with the City of Nanaimo Engineering Standards & Specifications.
 - All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard.
 - Contractor shall refer to the contract specifications for additional requirements.
 - Contractor to confirm layout of landscape plan on site with the Landscape Architect.
 - Irrigation to be designed and built by Contractor. As-built drawings required.

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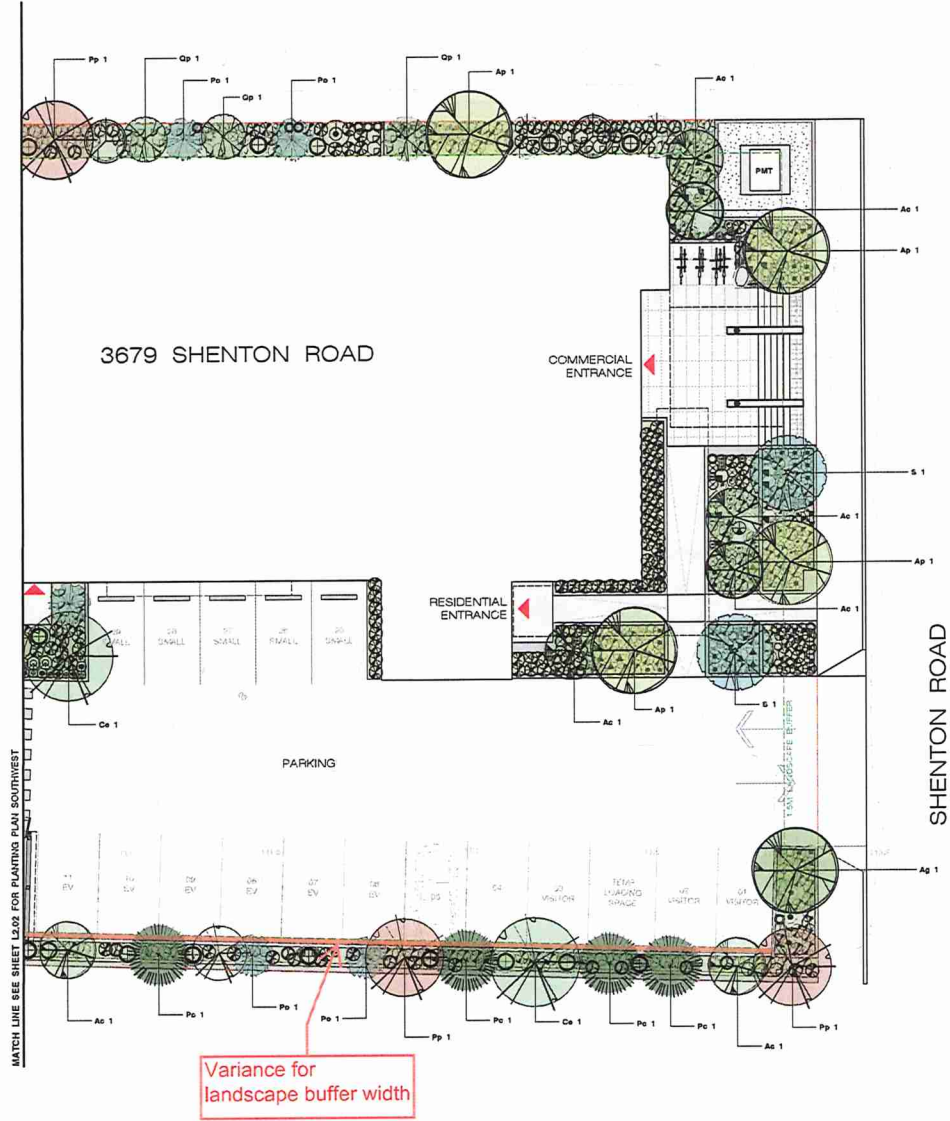


A SOUTH ELEVATION
FROM DIVERS LAKE LOOKING BACK TO BUILDING
SCALE 1:100

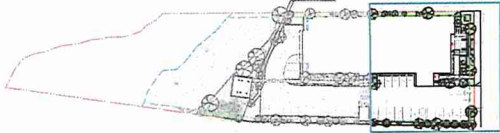
KEY PLAN



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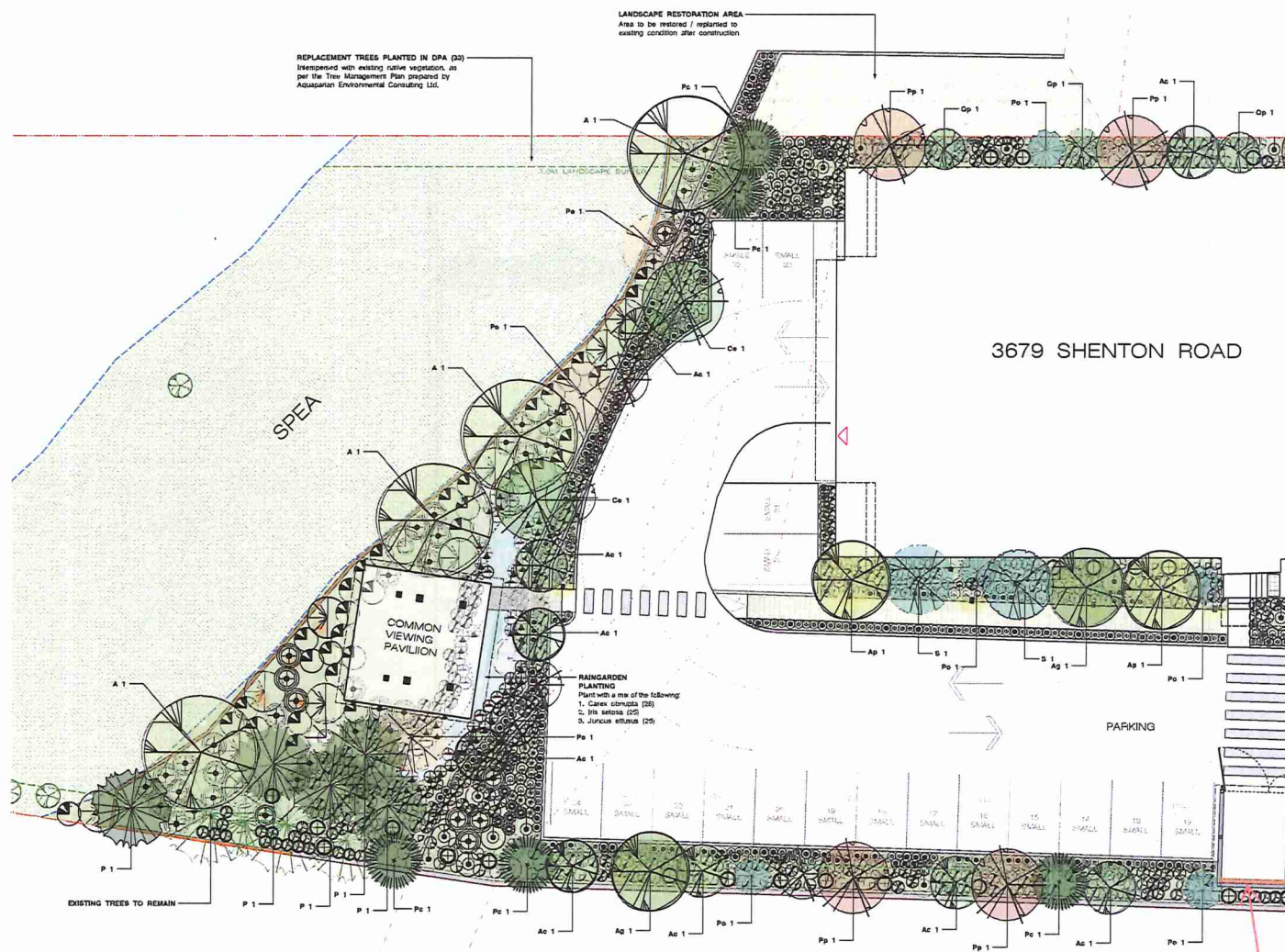


KEY PLAN

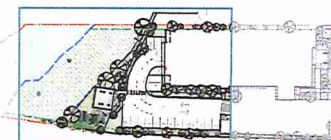


Refer to Sheet L2.02 for Planting Plan Southwest
Refer to Sheet L2.03 for Plant Legend, List & Notes

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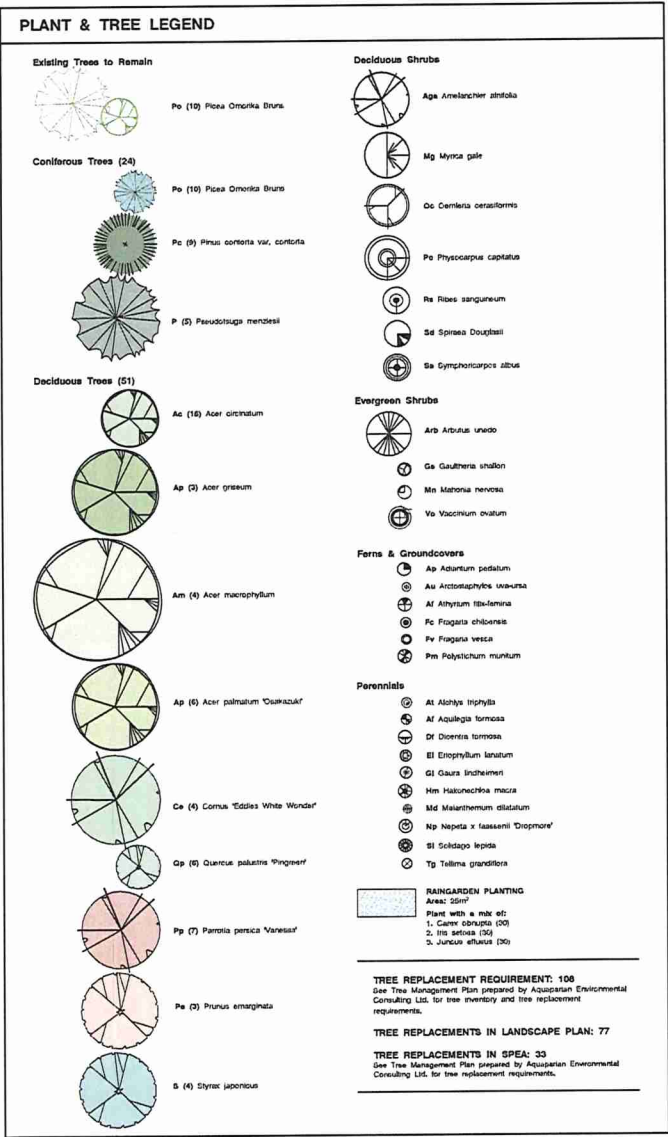
KEY PLAN



Refer to Sheet L2.01 for Planting Plan Northeast

Refer to Sheet L2.03 for Plant Legend, List & Notes

NOT FOR CONSTRUCTION



PLANT & TREE LIST

Key	Qty	Botanical Name	Common Name	Pot Size	Spacing	Notes
Coniferous Trees (24)						
Pe	10	Picea Omorika Bruns	Siberian Spruce	#15	10m ht.	Non-native
Pe	9	Pinus contorta var. contorta	Shore Pine	#15	10m ht.	Native
P	5	Pseudotsuga menziesii	Douglas Fir	#15	7.5m ht.	Native
Deciduous Trees (51)						
Ac	16	Acer circinnatum	Vine Maple	#15	6m ht.	Native
Ag	3	Acer griseum	Paper Bark Maple	#15	10m ht.	Native
A	4	Acer macrophyllum	Big Leaf Maple	#15	10m ht.	Native
Ap	6	Acer palmatum 'Crimkaval'	Japanese Maple	#15	6m ht.	Hybrid native
Ce	4	Cornus 'Eddies White Wonder'	White Flowering Dogwood	#20	7m ht.	Non-native
Gp	5	Quercus palustris 'Pingree'	Columnar Pin Oak	#20	7m ht.	Native
Pp	7	Parrotia persica	Persian Ironwood	#20	7m ht.	Native
Pe	2	Pinus emarginata	Bitter Cherry	#15	10m ht.	Native
S	4	Syringa japonica	Japanese Snowbell	#20	4m	Non-native
Deciduous Shrubs						
Ag	7	Amelanchier alnifolia	Service Berry	#3	Multi-stem	Native
Mg	10	Myrica gale	Shore Gale	#2	2m o.c.	Native
Oc	5	Oenothera caerulea	June Plum	#3	2m o.c.	Native
Pe	3	Physocarpus opulifolius	Pacific Ninebark	#1	2m o.c.	Native
R	20	Ribes sanguineum	Red Flowering Currant	#2	1.2m o.c.	Native
Sa	34	Spiraea Douglasii	Viburnum Opifera	#1	1.2m o.c.	Native
Sy	44	Symphoricarpos albus	Chokeberry	#1	1.2m o.c.	Native
Evergreen Shrubs						
Ga	160	Gaultheria shallon	Salal	#1	60cm o.c.	Native
Mn	74	Mahonia nervosa	Dull Oregon Grape	#1	60cm o.c.	Native
Va	37	Vaccinium ovatum	Evergreen Huckleberry	#2	1m o.c.	Native
Ferns & Groundcovers						
Ap	12	Adiantum pedatum	Maidenhair Fern	#1	60cm o.c.	Native
Au	103	Arctostaphylos uva-ursi	Kinnikinnick	10cm	45cm o.c.	Native
At	40	Athyrium filix-femina	Lady Fern	#1	60cm o.c.	Native
Fc	174	Fragaria chiloensis	Coastal Strawberry	10cm	45cm o.c.	Native
Pv	66	Prunella vesca	Vaccinium Strawberry	10cm	45cm o.c.	Native
Pm	525	Polystichum munitum	Oxalis	#1	60cm o.c.	Native
Perennials						
At	30	Achillea millefolium	Yarrow	10cm	45cm o.c.	Native
Al	16	Aquilegia formosa	Red Columbine	10cm	45cm o.c.	Native
GI	56	Gaillardia aristata	Blanket Flower	#1	45cm o.c.	Native
Hm	34	Helleborus viridis	Japanese Forest Hyacinth	#1	60cm o.c.	Non-native
Lv	21	Liatris pycnostachya	Blazing Star	10cm	45cm o.c.	Native
Md	125	Malvastrum coccineum	False Lily of the Valley	#1	60cm o.c.	Native
Np	36	Nepeta x faassenii 'Dropmore'	Cat Mint	#1	60cm o.c.	Non-native
Pn	23	Prunella vulgaris	Self-heal	#1	60cm o.c.	Native
So	41	Solidago canadensis	Canada Goldenrod	10cm	45cm o.c.	Native
Tg	77	Tallium grandiflorum	Pinktop	10cm	45cm o.c.	Native
Rain Garden & Bioswale						
Co	30	Carex obovata	Sievers Sedge	10cm	60cm o.c.	Native
Im	30	Iris setosa	Western Blue Flag Iris	#1	60cm o.c.	Native
Je	30	Juncus effusus	Dogwood Rush	10cm	60cm o.c.	Native

Please contact the Landscape Architect for approval of any plant substitutions:
KINSHIP DESIGN ART ECOLOGY
Katie Brafka: BCALA
T: 250-753-8099 E: katie@kinshipdesignartecology.com
No substitutions will be accepted without prior written approval of the Landscape Architect.

PLANTING NOTES

- All landscape construction to be in accordance with the City of Nanaimo Engineering Standards and Specifications.
- All landscape installation and maintenance to meet or exceed the current edition of the Canadian Landscape Standards as a minimal acceptable standard.
- Growing medium to meet or exceed the properties outlined in the Canadian Landscape Standard per Section 6 Growing Medium, Table T-6.3.3.3. Properties of Growing Media Level 2 "Supermed" - 2%.
- Growing Medium Depth (unless otherwise specified):
Tree Planting Areas: 4.8 cu. m. per tree
Shrub & Ground Cover Areas: 450mm (18") depth
Seeded Areas: 100mm (4") depth
- Mulch to be Compost per Section 10 Mulching of the Canadian Landscape Standard. Mulch depth to be 50mm minimum depth over all tree, shrub, and groundcover plantings.
- Plant material quality, transport and handling shall comply with the CMAA standards for Nursery Stock.
- All plant material shall match type and species as indicated on the planting plan. Contact the Landscape Architect for approval of substitutions. No substitutions will be accepted without prior written approval of the Landscape Architect.
- Check for locations of water lines and other underground services prior to digging tree pits. Excavated pits shall have positive drainage. Plant pits when fully flooded with water shall drain within one hour after filling.
- No plants requiring pruning or major branches due to disease, damage or poor form will be accepted.
- All tree, shrub, groundcover and lawn areas shall be watered via an underground automatic irrigation system utilizing "timer" (ET/Water-based) irrigation control. Irrigation emitters devices to be high efficiency low volume rotary nozzles or drip irrigation equipment.

Refer to Sheet L2.01 for Planting Plan Northeast

Refer to Sheet L2.02 for Planting Plan Southwest

NOT FOR CONSTRUCTION



I, KATHY B. BRAFT, a member of the Association of Professional Landscape Architects of British Columbia, do hereby certify that I am the author of the above design.

CLIENT
WINDLEY CONTRACTING LTD.

NO.	DATE	ISSUE
1	04/04/2025	DP SUBMITTAL
2	15/04/2025	DP REVISIONS
4	06/05/2025	DP REVISIONS

NO. | DATE | REVISION

PROJECT 24012
3679 SHENTON ROAD DEVELOPMENT
3679 SHENTON ROAD
NANAIMO, BC
RECEIVED
2025-JUN-01
2025-06-01

PLANT LEGEND, LIST & NOTES

CITY FILE NO.
SCALE 1:100
START DATE 2025-06-01
DB CM **CB** FS

L2.03

SOLERA SR86F - Bollard (or eq.)
Total Quantity of Bollard Lights: 5

Specifications:
Mounting / Anchoring as per manufacturers specifications.

Lamping
Lumens 26 W LED
3000K
Colour Temp 3000K, 4000K, 3000K, 3000K
Electrical UNV 120-277V

Height 40" (1.02m)
Finish Black



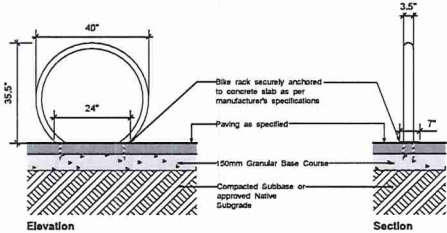
1
L3.01 Bollard
Scale: NTS

Loop 2 Space Bike Rack LBRP-1-SS (Stainless) (or eq.)
Quantity: 3

Specifications:
Surface Mount
(INST-1 Stainless steel mounting kit to be included)

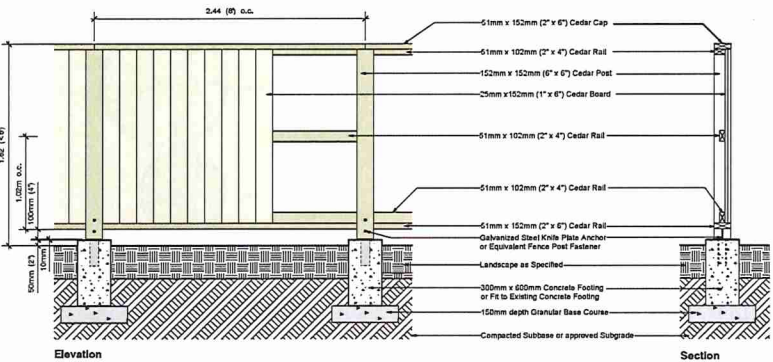
Capacity up to 2
Height 35.5" (902mm)
Width 42" (1067mm)
Weight 16 LBS (7.25kg)
Finish Stainless Steel

Wishbone Site Furnishings
210-2700 Gloucester Way
Langley, BC
1-800-425-0478
604-425-0478
www.wishboned.com



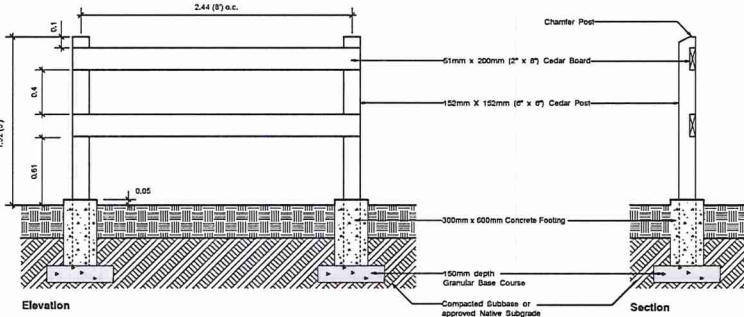
2
L3.01 Bicycle Rack
Scale: NTS
Elevation / Section

Notes:
All wood to be selected tight knot cedar. No checks, splits, warps or waxes. All cut ends to be properly sealed.
All metal fasteners to be hot dipped galvanized.



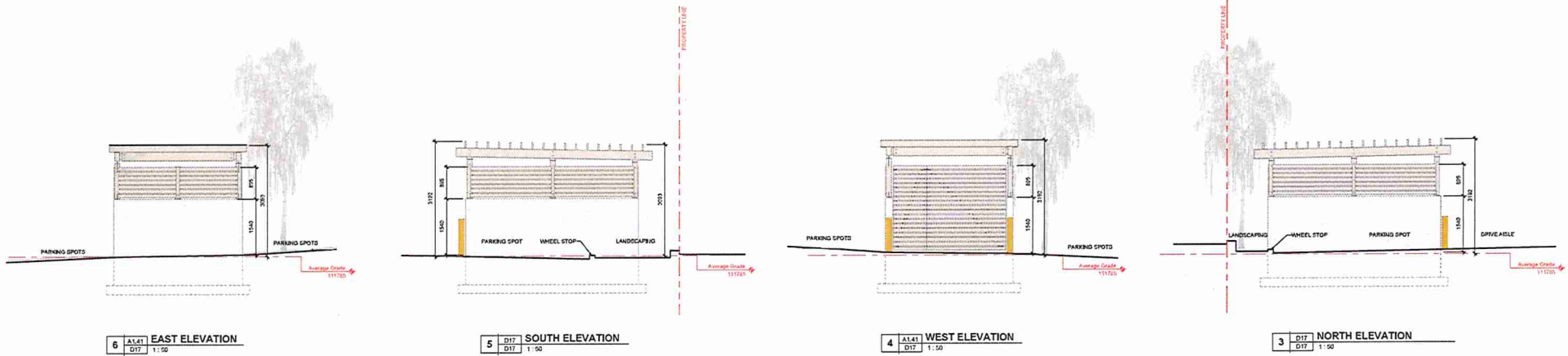
3
L3.01 Fence Type 01 - Perimeter Cedar Board
Scale: 1:20
Elevation / Section

Notes:
All wood to be selected tight knot cedar. No checks, splits, warps or waxes. All cut ends to be properly sealed.
All metal fasteners to be hot dipped galvanized.
Cedar to be finished with clear sealer as per manufacturers instructions. Contractor to confirm finish with Landscape Architect.



4
L3.01 Fence Type 02 - Environmental Protection
Scale: 1:20
Elevation / Section

NOT FOR CONSTRUCTION



GARBAGE ENCLOSURE - RENDER

